

INSPECTION CONDITIONS



CLIENT & SITE INFORMATION:

CLIENT NAME: Mr. & Mrs. New Homeowner.

INSPECTION SITE: Your New Address.

INSPECTION SITE CITY/STATE/ ZIP: , New City.

CLIMATIC CONDITIONS:

WEATHER: Clear.

**SOIL
CONDITIONS:** Dry.

**APPROXIMATE
OUTSIDE
TEMPERATURE
in F:** 60-70.

BUILDING CHARACTERISTICS:

**ESTIMATED AGE
OF HOUSE:** Apprx. 10 Years.

BUILDING TYPE: 1 family.

STORIES: 1 1/2.

**SPACE BELOW
GRADE:** Basement.

SQUARE FEET: Apprx. 2800.

OF BEDROOMS 4 Bedrooms.

BATHS 3 1/2 Baths.

OTHER ROOMS: Living Room, Dining Area, Laundry Room/Area, Bonus Room.

UTILITY SERVICES:

WATER SOURCE: Public.

**SEWAGE
DISPOSAL:**

Public.

**UTILITIES
STATUS:**

All utilities on.

REPORT LIMITATIONS

This report is intended only as a general guide to help the client make his own evaluation of the overall condition of the home, and is not intended to reflect the value of the premises, nor make any representation as to the advisability of purchase. The report expresses the personal opinions of the inspector, based upon his visual impressions of the conditions that existed at the time of the inspection only. The inspection and report are not intended to be technically exhaustive, or to imply that every component was inspected, or that every possible defect was discovered. No disassembly of equipment, opening of walls, moving of furniture, appliances or stored items, or excavation was performed. All components and conditions which by the nature of their location are concealed, camouflaged or difficult to inspect are excluded from the report.

Systems and conditions which are not within the scope of the building inspection include, but are not limited to: formaldehyde, lead paint, asbestos, toxic or flammable materials, and other environmental hazards; pest infestation, playground equipment, efficiency measurement of insulation or heating and cooling equipment, internal or underground drainage or plumbing, any systems which are shut down or otherwise secured; water wells (water quality and quantity) zoning ordinances; intercoms; security systems; heat sensors; cosmetics or building code conformity. Any general comments about these systems and conditions are informational only and do not represent an inspection.

The inspection report should not be construed as a compliance inspection of any governmental or non governmental codes or regulations. The report is not intended to be a warranty or guarantee of the present or future adequacy or performance of the structure, its systems, or their component parts. This report does not constitute any express or implied warranty of merchantability or fitness for use regarding the condition of the property and it should not be relied upon as such. Any opinions expressed regarding adequacy, capacity, or expected life of components are general estimates based on information about similar components and occasional wide variations are to be expected between such estimates and actual experience.

We certify that our inspectors have no interest, present or contemplated, in this property or its improvement and no involvement with tradespeople or benefits derived from any sales or improvements. To the best of our knowledge and belief, all statements and information in this report are true and correct.

All components designated for inspection in the ASHI's Standards of Practice are inspected, except as may be noted in the "Limitations of Inspection" sections within this report.

It is the goal of the inspection to put a home buyer in a better position to make a buying decision. Not all improvements will be identified during this inspection. Unexpected repairs should still be anticipated. The inspection should not be considered a guarantee or warranty of any kind.

Please refer to the pre-inspection agreement for a full explanation of the scope of the inspection.

EXTERIOR - FOUNDATION - BASEMENT

WALLS:

MATERIAL: Brick.

CONDITION: The exterior walls show normal wear and tear for a home of this age.

FOUNDATION

CONDITION: **Substantial foundation water seepage was observed. Since repairs are needed to protect the building from more serious damage, a structural engineer who is familiar with foundation repair or a company specializing in foundation repairs should be consulted to evaluate the condition and suggest corrective measures.**



TRIM:

MATERIAL: Wood, Metal, Vinyl.

CONDITION: The exterior of the home is generally in good condition.

SOFFITS Vinyl.

FASCIA: Aluminum.

CHIMNEY:

MATERIAL: Metal Below Siding.

CONDITION: **It is recommended chimney be cleaned and inspected by a certified chimney professional.**

BASEMENT/CRAWL SPACE:

ACCESSIBILITY: Crawl space is fully accessible.

CRAWL SPACE: **Broken/sagging framing.**

VAPOR BARRIER Vapor barrier was observed in the crawl space. It appears to be serviceable.

BASEMENT WALLS - TYPE: Concrete block.

CONDITION: Symptoms of prior water seepage are present.

BEAMS: **Beam sagging and/or cracked.**

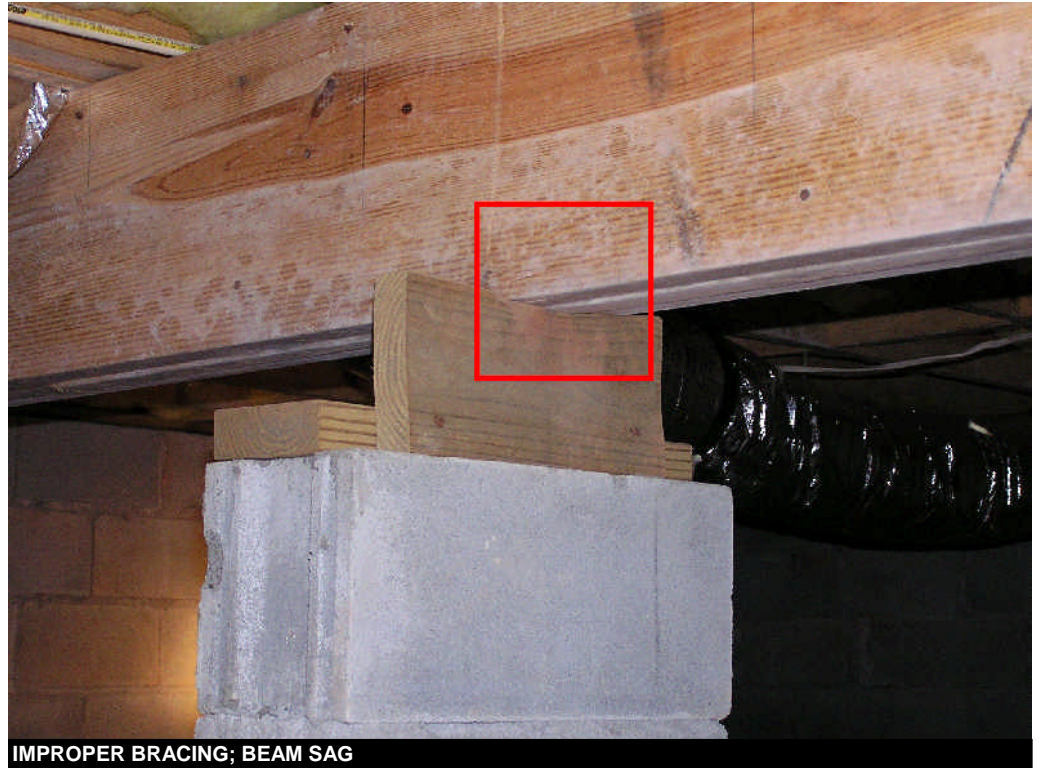
FLOOR JOISTS: Appear serviceable.

**FLOOR
CONDITION:**

Floor is serviceable.

**COLUMNS/
SUPPORTS:**

Appear serviceable.



Areas hidden from view by finished walls or stored items can not be judged and are not a part of this inspection. Minor cracks are typical in many foundations and most do not represent a structural problem. If major cracks are present along with bowing, we routinely recommend further evaluation be made by a qualified structural engineer. All exterior grades should allow for surface and roof water to flow away from the foundation. All concrete floor slabs experience some degree of cracking due to shrinkage in the drying process. In most instances floor coverings prevent recognition of cracks or settlement in all but the most severe cases. Where carpeting and other floor coverings are installed, the materials and condition of the flooring underneath cannot be determined.

ROOF SYSTEM

ROOF:

STYLE: Hip.

TYPE: Composition shingles.

ROOF ACCESS: Viewed from ground.

ROOF COVERING STATUS: The roof coverings are in generally good condition. It appears the roof is within useful life.

EXPOSED FLASHINGS:

TYPE AND CONDITION: Metal, Rubber, **Damage is noted- at the vents.**



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The foregoing is an opinion of the general quality and condition of the roofing material. The inspector cannot and does not offer an opinion or warranty as to whether the roof leaks or may be subject to future leakage. This report is issued in consideration of the foregoing disclaimer. The only way to determine whether a roof is absolutely water tight is to observe it during a prolonged rainfall. Many times, this situation is not present during the inspection.

PLUMBING

MAIN LINE:

PRESSURE READINGS

The water pressure supplied to the fixtures is reasonably good. A typical drop in flow was experienced when two fixtures were operated simultaneously.

STATIC: 60-70 psi.

MAIN VALVE(S) At Water Meter.

SUPPLY LINES:

MATERIAL: Copper.

CONDITION: The plumbing system is in generally good condition.

WASTE LINES:

MATERIAL: Plastic.

CONDITION: Appears serviceable.

HOSE FAUCETS:

OPERATION: Sample operated, appeared serviceable.

WATER HEATER:

TYPE: Electric.

MANUFACTURE: Reliance.

SIZE: 50 Gallons.

DATE OF MANF: 1995; Water heaters have a typical life expectancy of 7 to 12 years. The existing unit is approaching this age range. One cannot predict with certainty when replacement will become necessary.

LOCATION: Garage.

CONDITION: Appears serviceable, **Pressure relief valve drain line is missing or ends prematurely. This is a SAFETY HAZARD. We recommend this drain line be extended to a safe location.**



As we have discussed and as described in your inspection agreement, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Portions of the plumbing system concealed by finishes and/or storage (below sinks, etc.), below the structure, or beneath the ground surface are not inspected.
- Water quantity and water quality are not tested unless explicitly contracted-for and discussed in this or a separate report.
- Clothes washing machine connections are not inspected.
- Interiors of flues or chimneys which are not readily accessible are not inspected.
- Water conditioning systems, solar water heaters, fire and lawn sprinkler systems, and private waste disposal systems are not inspected unless explicitly contracted-for and discussed in this or a separate report.

Please also refer to the pre-inspection agreement for a detailed explanation of the scope of this inspection.

GROUNDS

DRIVEWAY:

CONDITION: Appears serviceable.

WALKWAYS:

TYPE: Concrete.

CONDITION: Appears serviceable, Cracks noted are typical.

LANDSCAPING:

CONDITION: Trim plants away from structure, Trees are touching or overhanging the roof. Damage is possible.

GRADING:

SITE: Gentle slope.

PATIO:

TYPE: Concrete.

CONDITION: Appears serviceable.



This inspection is not intended to address or include any geological conditions or site stability information. For information concerning these conditions, a geologist or soils engineer should be consulted. Any reference to grade is limited to only areas around the exterior of the exposed areas of foundation or exterior walls. This inspection is visual in nature and does not attempt to determine drainage performance of the site or the condition of any underground piping, including municipal water and sewer service piping or septic systems. Decks and porches are often built close to the ground, where no viewing or access is possible. These areas as well as others too low to enter, or in some other manner not accessible, are excluded from the inspection and are not addressed in the report. We routinely recommend that inquiry be made with the seller about knowledge of any prior foundation or structural repairs.

HEATING - AIR CONDITIONING

AIR CONDITIONING:

MANUFACTURE: Rheem.

TYPE: Heat Pump.

POWER SOURCE: Electrical disconnect present.

DATE OF MANUFACTURE: 1995.

TEMP FROM REGISTERS Upon testing in the air conditioning mode, a normal temperature from the air registers was observed. This suggests that the system is operating properly.

SYSTEM CONDITION: The system responded properly to operating controls.

CONDENSATE LINE: Condensate line installed.

NORMAL CONTROLS: Responded to operational controls.

DUCTWORK:

TYPE: Insulated sheet metal, Flexible Round.

DUCTS/AIR SUPPLY: **Crushed ducts noted.**



CRUSHED DUCT

The inspector is not equipped to inspect furnace heat exchangers for evidence of cracks or holes, as this can only be done by dismantling the unit. This is beyond the scope of this inspection. Some furnaces are designed in such a way that inspection is almost impossible. The inspector can not light pilot lights. Safety devices are not tested by the inspector.

NOTE: Asbestos materials have been commonly used in heating systems.

Determining the presence of asbestos can ONLY be performed by laboratory testing and is beyond the scope of this inspection. Thermostats are not checked for calibration or timed functions. Adequacy, efficiency or the even distribution of air throughout a building cannot be addressed by a visual inspection. Electronic air cleaners, humidifiers and de-humidifiers are beyond the scope of this inspection. Have these systems evaluated by a qualified individual. The inspector does not perform pressure tests on coolant systems, therefore no representation is made regarding coolant charge or line integrity. Subjective judgment of system capacity is not a part of the inspection. Normal service and maintenance is recommended on a yearly basis. Determining the condition of oil tanks, whether exposed or buried, is beyond the scope of this inspection. Leaking oil tanks represent an environmental hazard which is sometimes costly to remedy.

ELECTRICAL SYSTEM

SERVICE:

**TYPE AND
CONDITION:** Underground.

ELECTRICAL PANELS:

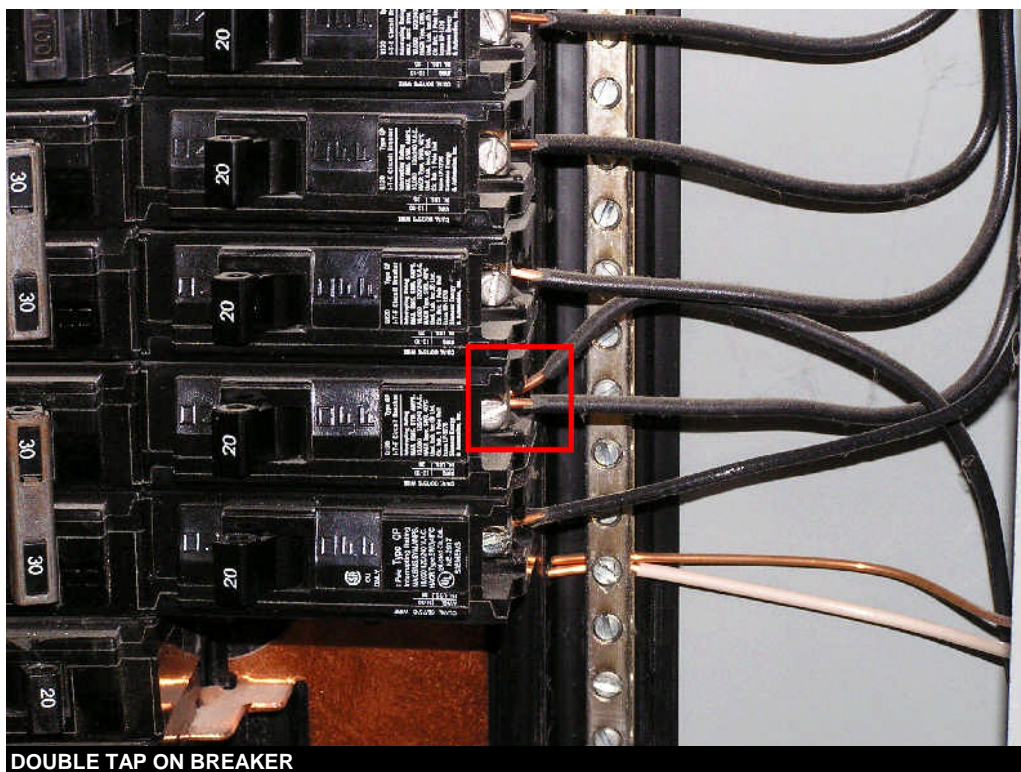
**MAIN PANEL
LOCATION AND
NOTES:** Laundry Room/Area.

AMP RATING: 200 AMPS.

Inspector Notes: Circuit and wire sizing correct so far as visible, Grounding system is present, **Multiple wires are connected to a single lug on a circuit breaker where only one wire should be connected.**

**MAIN
DISCONNECT
LOCATION:** Exterior at Meter.

**AMP RATING OF
MAIN
DISCONNECT:** 200.



CONDUCTORS:

ENTRANCE CABLES:

Aluminum- OK.

BRANCH WIRING:

All visible wiring within the home is copper. This is a good quality electrical conductor.

Aluminum (220 volt OK)

SWITCHES & OUTLETS:

CONDITION:

A representative sampling of switches and outlets was tested. As a whole, outlets and switches throughout the house are in serviceable condition. **Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation at exterior, garage, bath rooms & kitchen outlets.**

Any electrical repairs attempted by anyone other than a licensed electrician should be approached with caution. The power to the entire house should be turned off prior to beginning any repair efforts, no matter how trivial the repair may seem. Aluminum wiring requires periodic inspection and maintenance by a licensed electrician. Operation of time clock motors is not verified. Inoperative light fixtures often lack bulbs or have dead bulbs installed. Light bulbs are not changed during the inspection, due to time constraints. Smoke Alarms should be installed within 15 feet of all bedroom doors, and tested regularly.

INTERIOR

DOORS:

**MAIN ENTRY
DOOR:**

Material Door Made of, Solid Wood, Appears to be operating satisfactorily.

**OTHER
EXTERIOR
DOORS:**

Appears to be operating satisfactorily.

**INTERIOR
DOORS:**

Appears to be operating satisfactorily.

**DOOR TO
GARAGE**

Door appears to be serviceable.

WINDOWS:

**TYPE &
CONDITION:**

Clad-Metal/Vinyl, Single hung, A representative sampling was taken. Windows as a grouping are generally operational.

INTERIOR WALLS:

**MATERIAL &
CONDITION:**

Drywall, General condition appears to be in average condition.

CEILINGS:

**TYPE &
CONDITION:**

Drywall, General condition appears serviceable.

FLOORS:

**TYPE &
CONDITION:** Carpet, Wood, Tile, General condition appears satisfactory.

FIREPLACE/WOOD BURNING DEVICES:

**LOCATION -
TYPE -
CONDITION:** Prefabricated metal, Location, Living Room, **Recommend cleaning and inspection by a certified chimney professional before using.**

SMOKE / FIRE DETECTOR:

COMMENTS: Smoke alarm(s) responded to test operation, **It is recommended to install carbon monoxide detectors in the home.**

The condition of walls behind wall coverings, paneling and furnishings cannot be judged. Only the general condition of visible portions of floors is included in this inspection. As a general rule, cosmetic deficiencies are considered normal wear and tear and are not reported. Determining the source of odors or like conditions is not a part of this inspection. Floor covering damage or stains may be hidden by furniture. The condition of floors underlying floor coverings is not inspected. Determining the condition of insulated glass windows is not always possible due to temperature, weather and lighting conditions. Check with owners for further information. All fireplaces should be cleaned and inspected on a regular basis to make sure that no cracks have developed. Chimney fires can overheat the firebox and flue liners, sometimes resulting in internal damage.

GARAGE - CARPORT

TYPE:

LOCATION: Built-In, Two car.

ROOF:

CONDITION: Same as house.

FLOOR:

CONDITION: Appears to be in average condition.

GARAGE DOOR(S):

CONDITION: Appears serviceable, Automatic reverse feature is, responding properly to testing. This safety feature should be tested regularly as a door that doesn't reverse can injure someone or fall from the ceiling. Refer to the owner's manual or contact the manufacturer for more information.

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Notice: Determining the heat resistance rating of firewalls is beyond the scope of this inspection. Flammable materials should not be stored within closed garage areas.

KITCHEN - APPLIANCES - LAUNDRY

KITCHEN SINK:

**TYPE AND
CONDITION:**

Stainless Steel, Appears to be in satisfactory condition, Faucet is serviceable, Hand sprayer is serviceable.

RANGE/COOK TOP AND OVEN:

**TYPE/
CONDITION:**

Gas, Responded to testing.

VENTILATION:

**TYPE AND
CONDITION:**

External, Fan/Hood operational.

REFRIGERATOR:

**TYPE AND
CONDITION:**

Electric.

DISHWASHER:

CONDITION:

Responded to operations. Air gap device or high-loop is present on drain line-Proper.

GARBAGE DISPOSAL:

CONDITION:

Appears serviceable.

INTERIOR COMPONENTS:

COUNTERS AND CABINETS:

Counter tops are granite. Appear to be in average condition. Cabinets appear serviceable.

WALLS/CEILINGS/ FLOORS:

Walls and ceilings appear serviceable.

WINDOWS/ DOORS:

Appear serviceable.

SWITCHES/ FIXTURES/ OUTLETS:

Responded properly.



Laundry appliances are not tested or moved during the inspection and the condition of any walls or flooring hidden by them cannot be judged. Drain lines and water supply valves serving washing machines are not operated. Water supply valves may be subject to leaking if turned.

Inspection of stand alone freezers and built-in ice makers are outside the scope of the inspection. No opinion is offered as to the adequacy of dishwasher operation. Ovens, self or continuous cleaning operations, cooking functions, clocks, timing devices, lights and thermostat accuracy are not tested during this inspection. Appliances are not moved during the inspection. Portable dishwashers are not inspected, as they require connection to facilitate testing.

BATHROOMS

BATHROOM AREA:

BATH LOCATION: Hall.

CONDITION OF SINK: Appears serviceable.

CONDITION OF TOILET: **The following problems were noted at the toilet: Toilet tank is loose at the toilet bowl. Tighten as needed.**

TUB/SHOWER PLUMBING FIXTURES: Appears serviceable.

TUB/SHOWER AND WALLS: Tub and shower areas appear serviceable.

BATH VENTILATION: Appears serviceable.

BATHROOM AREA:

BATH LOCATION: Master bedroom.

CONDITION OF SINK: Appears serviceable.

CONDITION OF TOILET: Appears serviceable.

TUB/SHOWER PLUMBING FIXTURES: Appears serviceable.

**TUB/SHOWER
AND WALLS:**

Tub and shower areas appear serviceable.

**BATH
VENTILATION:**

Appears serviceable.

SPA TUB

The spa tub responded to operational controls. **There was no readily available access to the spa pump. Access is needed for maintenance. The spa tub is not properly protected by a GFCI electrical device. This is a safety hazard! It is recommended a licensed electrician properly protect the tub with a GFCI electrical device.**

Shower pans are visually checked for leakage, but leaks often do not show except when the shower is in actual use. Determining whether shower pans, tub/shower surrounds are water tight is beyond the scope of this inspection. It is very important to maintain all grouting and caulking in the bath areas. Very minor imperfections can allow water to get into the wall or floor areas and cause damage. Proper ongoing maintenance will be required in the future.